

Item No 01:-

21/00949/FUL

**Dukes Field
Land To The South Of The Pheasantry
Oak Road
Down Ampney
Gloucestershire**

Item No 01:-

Erection of 10 dwellings with associated access drives and drainage at Dukes Field Land To The South Of The Pheasantry Oak Road Down Ampney Glos

Full Application 21/00949/FUL	
Applicant:	Cotswold Homes Limited
Agent:	Trower Davies Ltd
Case Officer:	Hannah Rose
Ward Member(s):	Councillor Lisa Spivey
Committee Date:	12th January 2022
RECOMMENDATION:	TO PERMIT SUBJECT TO THE COMPLETION OF LEGAL AGREEMENT RELATING TO AFFORDABLE HOUSING PROVISION

1. Main Issues:

- (a) New-build Residential Development in a Principal Settlement
- (b) Affordable Housing Provision
- (c) Character, Appearance and Impact on Landscape
- (d) Residential Amenity
- (e) Biodiversity
- (f) Highway Safety
- (g) Drainage
- (h) Other Matters - Climate Change

2. Reasons for Referral:

2.1 The main reason I think this should go before the planning committee is the density of the development. The site is relatively small and is on the edge of the settlement. At 10 dwellings, the current density is not in line with the existing Duke's Field development which is very spacious and spread out, nor the developments to the North and West.

2.2 Given this proposed development is also on the edge of the settlement, I would have expected it to be far less dense as it gives on to open fields. The current proposal was criticised by the Conservation officer in its first iteration, where it was suggested that at least 1 unit should be removed, and although the layout has changed to address various concerns including highways issues, the number of units remains the same. I think the concern over density remains. I appreciate that the Local Plan allocation is for 10 dwellings, but I think this was a mistake and the current layout shows that 10 houses on this plot constitutes over development of a small plot. This density would be far more common in a suburban settlement. Down Ampney is a rural village and the density of developments should reflect the agricultural and rural history of the village. I also have concerns regarding the sewage plans and parking but understand that the consultees on these matters did not raise concerns. However, I feel strongly that people who live in the village who know what the issues with

sewage and flooding and parking are should be listened to and their objections given far greater weight in the decision making process.

3. Site Description:

3.1 The application site comprises some 0.36 hectares of undeveloped land within Down Ampney Development Boundary. The site lies on the edge of the settlement and is bordered by residential development to the north and west and open countryside to the east and south; open fields beyond the highway and hedgerows to the east and a parcel of dense woodland to the south.

3.2 The application site is allocated for 10 new-build dwellings within Policy S4 of the Local Plan (DA_2).

3.3 The site lies outside of the Cotswold Area of Outstanding Natural Beauty.

4. Relevant Planning History:

4.1 No relevant planning history on the site.

5. Planning Policies:

NPPF National Planning Policy Framework
CDCLP CDC LOCAL PLAN 2011-2031
DS1 Development Strategy
DS2 Dev within Development Boundaries
S4 S4 - Down Ampney
H1 Housing Mix & Tenure to meet local needs
H2 Affordable Housing
EN1 Built, Natural & Historic Environment
EN2 Design of Built & Natural Environment
EN4 The Wider Natural & Historic Landscape
EN7 Trees, Hedgerows & Woodlands
EN8 Bio & Geo: Features Habitats & Species
EN14 Managing Flood Risk
INF3 Sustainable Transport
INF4 Highway Safety
INF5 Parking Provision
INF7 Green Infrastructure
INF8 Water Management Infrastructure
EN15 Pollution & Contaminated Land

6. Observations of Consultees:

6.1 GCC Archaeologist: No objection subject to pre-commencement condition to secure a programme of archaeological work.

6.2 GCC Highways: No objection, subject to conditions.

6.3 GCC Minerals and Waste: No objection on mineral sterilisation grounds.

- 6.4 Lead Local Flood Authority (LLFA): No objection.
- 6.5 Thames Water: No objection.
- 6.6 Tree Officer: No objection, subject to conditions.
- 6.7 Conservation Officer: No objection, subject to conditions.
- 6.8 Biodiversity Officer: No objection, subject to conditions.
- 6.9 Housing Officer: No objections.

7. View of Town/Parish Council:

7.1 In summary, Down Ampney Parish Council object to the application for the following reasons:

- i. Insufficient on-site car parking for affordable units;
- ii. Surface water drainage- the drainage ditch to the south of the development is often very full during heavy rain;
- iii. Sewage capacity at the treatment works is already at high levels; and
- iiii. Concerns over narrow access to plots 5, 6, 7 and 8 also used by pedestrians and for parking

8. Other Representations:

8.1 In response to the originally submitted scheme, objections were received from nine residents. In response to the most recent revised scheme dated 27th September 2021, objections were received from four residents. In summary, the following objections have been raised:

- i. Density too high;
- ii. Inadequate parking provision and narrow accesses;
- iii. Concerns over drainage capacity and surface water flooding;
- iiil. Loss of wildlife habitat. The hedgerows and trees must be retained.

8.2 General comments were received from one local resident stating, in summary, that removing one unit would alleviate most of the parking issues and allow for some green space for wildlife; a pavement is a necessity and all walls should be of stone construction.

9. Applicant's Supporting Information:

Planning Statement;
Design and Access Statement;
Arboricultural Impact Assessment;
Clean Water Capacity Report;
Drainage Strategy;
Hedgerow Assessment;
Archaeological and Heritage Statement;
Site Waste Minimisation Plan; and

Ecology Appraisal.

10. Officer's Assessment:

Proposal

10.1 Planning permission is sought for the erection of ten new-build dwellings and associated garages and car parking together with two new accesses onto Dukes Field and two new accesses onto Oak Road.

10.2 The scheme would comprise a mix of 6No. 4 bedroomed dwellings, 1No. 2 bedroomed dwelling and 3No. 1 bedroomed dwellings, one of which is a single storey dwelling. The remaining dwellings would be two storey in height. The 6No. 4 bedroomed dwellings would be open market and the remaining four smaller dwellings would be affordable dwellings. The combined internal floorspace would be approximately 1320 square metres.

10.3 The dwellings would be constructed from natural Cotswold stone under a combination of reconstructed stone tile and natural slate tile roofs with timber windows. The dwellings would address both Dukes Field and Oak Road. The boundary hedgerows would be retained between new access points and new planting within the site is proposed.

(a) New-build Residential Development in a Principal Settlement

10.4 Down Ampney is designated as a Principal Settlement in Policy DS1 of the Local Plan and therefore plays a central role in meeting district wide housing and employment needs. Policy DS2 identifies development boundaries for the District's Principal Settlements to maintain a sustainable development strategy and protect smaller settlements from larger forms of development. While on the edge of the settlement, the application site is located within the Development Boundary of Down Ampney.

10.5 The application site is allocated for 10 new-build dwellings within Policy S4 of the Local Plan (DA_2). Sites are allocated in the Local Plan having regard for various constraints and issues.

10.6 Ten dwellings are proposed, offering a mix of one bedroomed to four bedroomed units. The erection of new-build open market housing on the site is therefore considered to promote a sustainable pattern of development and this weighs in favour of the development.

(b) Affordable Housing Provision

10.7 Local Plan Policy H1 requires all housing developments to provide a suitable mix and range of housing in terms of size, type and tenure to reflect local housing need and demand in both the market and affordable housing sectors, subject to viability. The proposed dwellings comply with the Nationally Described Space Standard.

10.8 The Local Plan places an expectation on all site allocations to deliver a supply of affordable housing, subject to Policy H2 and material considerations. Policy H2 requires, 'All housing developments that provide 11 or more new dwellings (net) or have a combined gross floorspace of over 1,000sqm will be expected to contribute towards affordable housing provision to meet the identified need in the District and address the Council's strategic

objectives on affordable housing.' The affordable housing requirement on all sites requiring a contribution, subject to viability is up to 40% of new dwellings on greenfield sites such as the application site.

10.9 Point 5 of Policy H2 states that, 'The type, size and mix, including the tenure split, of affordable housing will be expected to address the identified and prioritised housing needs of the District and designed to be tenure blind and distributed in clusters across the development to be agreed with the Council. It will be expected that affordable housing will be provided on site as completed dwellings by the developer, unless an alternative contribution is agreed, such as serviced plots.'

10.10 The gross internal floorspace of the scheme exceeds 1,000 square metres and therefore triggers the requirement of 40% of units to be affordable. This has been provided, in line with Policy H2.

10.11 The proposed affordable housing mix has been proposed in response to pre-application discussions with the Council's Housing Officer, in order to respond to the identified need in the local area. The development proposes 2No. one bedroomed apartment to rent, 1No. one bedroomed bungalow to rent and 1No. two bedroomed house for shared ownership.

10.12 Generally in the Cotswold District, smaller one and two bedroom affordable properties to rent are in the highest demand. This is reflected in Down Ampney where one-bedroom rented properties are in the greatest need for those on the Housing Register, followed by two-bedroom houses. The current proportion of existing one-bedroomed affordable rented properties in the Parish is low, which is reflected in the need for smaller sized properties. As such, the proposed housing mix is considered to meet this local housing need.

(c) Character, Appearance and Impact on Landscape

10.13 Policy EN1 states that new development should conserve the historic environment by ensuring the protection and enhancement of heritage assets and their settings, and that the design of proposals should complement the character of the area.

10.14 Policy EN2 states that development should accord with the Cotswold Design Code, and that proposals should respect the character and distinctive appearance of the locality. The following sections of the Cotswold Design Code are of particular relevance to the proposal:

- Paragraph D.9 states that any proposed new development should respond to its landscape or townscape setting.
- Paragraph D.10 states that Settlements are distinctive in how they set within the landscape with their layouts and patterns of streets. Any new development should reflect this in its location and design.
- Paragraph D.14 states that in designing new development, attention should be paid to the site and its setting in terms of density, grain, scale and form, as well as the architectural design of the buildings, and to the landscaping around them.
- Paragraph D.15 states that it is important the development, whilst respecting local character, develops a sense of place in its own right, and develop individuality of design

and identity of character either for the whole development, or with larger schemes, also for different areas within that development.

- Paragraph D.16 states that: 'New buildings should be carefully proportioned and relate to the human scale, and to their landscape or townscape context.'
- Paragraph D.17 states that: 'Excessive or uncharacteristic bulk should be avoided. New buildings should generally not dominate their surroundings, but should complement the existing structures or landscape, and sit comfortably within their setting.'
- Paragraph D.18 states that: 'The height of new buildings should respond to the local context, for example forming a gentle transition from open countryside to settlement edge.'

10.15 With regard to climate change, paragraphs D.59 - D.62 of the Design Code provide guidance regarding sustainable design and states that 'the potential impacts of climate change can be addressed through a variety of means, from the incorporation of better insulation and renewable energy technologies, to adaptations for severe weather events, and the use of local and recycled building materials. The Design Code also stresses that sustainable design needs to be responsive to the character of the area and the sensitivities of the site.

10.16 Policy EN4 states that development should take into account historic landscape character and local distinctiveness, and would be expected to enhance, restore or better manage significant historic landscape features, including key views, the setting of settlements, settlement pattern, and heritage assets.

10.17 Policy INF7 of the Local Plan states that development proposals must contribute, depending on their scale, use and location, to the protection and enhancement of existing Green Infrastructure and/or the delivery of new Green Infrastructure. Green Infrastructure will be designed in accordance with principles set out in the Cotswold Design Code (Appendix D).

10.18 With regard to national policy, chapter 12 of the NPPF seeks to achieve well-designed places. In part, paragraph 127 of the NPPF ensures that developments will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; are visually attractive as a result of good architecture, layout and appropriate and effective landscaping; and are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities).

10.19 The site lies outside of a conservation area or any landscape designations and is surrounded by modern housing development to the west and north. That said, the site lies on the edge of the settlement where it is important to retain a transitional urban to rural character appropriate to the settlement edge.

10.20 In terms of layout, the majority of dwellings are proposed to front Dukes Field and Oak Way and are arranged in a simple and uncontrived manner, characteristic with the grain of the village. The density of the development is fairly high. Officers consider that pairs of semi-detached dwellings would offer a more traditional pattern of development and allow for more open space between buildings. However, it must be noted that the application seeks to match the ten dwellings that have been allocated to the site as a part of the wider housing strategy of the Local Plan. Furthermore, the density is not much greater than the existing development at Dukes Field and allows for four affordable units to be provided on-site.

10.21 The scheme adopts a Cotswold vernacular design. The buildings would have simple and steeply pitched roof forms with projecting gables and dormer windows and would be constructed of natural Cotswold stone. The scale and massing varies between each plot to avoid too much uniformity. A series of amendments have been made in accordance with the Conservation Officers comments. Overall, the proposed dwellings would have a coherent Cotswold vernacular and would not appear out of character in the area, having regard for the surrounding 21st century housing. Overall, the revised scheme is considered to accord with the Cotswold Design Code, Local Plan Policies EN1 and EN2 and section 12 of the NPPF.

10.22 The proposal also seeks to install solar panels across south-facing roofslopes and electric vehicle charging points to each property which is welcomed. Water butts for rainwater harvesting and secure, covered cycle storage would also be provided for each dwelling. The proposal has therefore considered the need to address climate change and provide renewable energy solutions which is welcomed and forms a public benefit of the scheme.

10.23 The Conservation Officer, as well as neighbouring residents have suggested that one dwelling should be removed from the scheme in order to lower the density. However, the agent has confirmed that if they were to remove a unit from the scheme, they would ensure the total floorspace would not exceed 1000sqm, removing the policy requirement for on-site affordable housing. As such, the removal of one dwelling from the scheme would result in the loss of four potential affordable units. As such, one must balance the level of harm the proposed density has on the character and appearance of the site against the public benefits of providing four units of affordable housing, where there is a demonstrated need, as well as the renewable energy measures and subsequent environmental benefits currently offered. Officers consider that while a lower density scheme would respond better to the edge of settlement site, on balance, the density is offset considering the allocation for ten dwellings and the public benefits the scheme provides.

(d) Residential Amenity

10.24 The Design Code (Appendix D) referred to in Policy EN2 of the Local Plan also sets out guidance with regard to residential amenity. Section 12 of the NPPF seeks to achieve well-designed places. In part, paragraph 127 of the NPPF ensures that development has a high standard of amenity for existing and future users.

10.25 The Design Code states that, 'To ensure adequate privacy, the minimum distance between facing windows of one and two storey dwellings should be no less than 22m and, for buildings higher than two storeys, no less than 28m. Where the distance between facing windows is less than 28m in one and two storey dwellings, or less than 32m for buildings higher than two storeys, permitted development rights may be removed. For these purposes, facing windows are those which can readily be seen into from within principal rooms in another property, including windows at an angle to one another, but excluding windows on front elevations. Much will depend on the angle and the topography. A principal room is a bedroom, living room, dining room, kitchen, study or other living space, but not a hallway, stairs, bathroom, utility or store.'

10.26 Taking into account the positioning of the existing and proposed dwellings, orientation and scale, the proposed dwellings are considered to provide adequate garden spaces and

privacy for existing and future occupiers and are considered not to result in an unacceptable level of overshadowing. The proposed development is therefore considered to accord with the objectives of Cotswold District Local Plan Policy EN2 and the residential amenity considerations contained in Section 12 of the NPPF.

(e) Biodiversity

10.27 Local Plan Policy EN7 states that, 'Where such natural assets are likely to be affected, development will not be permitted that fails to conserve and enhance: trees of high landscape, amenity, ecological or historical value; veteran trees; hedgerows of high landscape, amenity, ecological or historical value; and/or woodland of high landscape, amenity, ecological or historical value. Where trees, woodland or hedgerows are proposed to be removed as part of development, compensatory planting will be required.'

10.28 Local Plan Policy EN8 states that, 'Development will be permitted that conserves and enhances biodiversity and geodiversity, providing net gains where possible.'

10.29 Chapter 15 of the NPPF seeks to ensure development minimises the impact on and provided net gains for biodiversity and reflects the objectives of Policy EN8.

10.30 An Ecological Appraisal has been submitted with the application along with a dormouse method statement, great crested newt method statement, hedgerow assessment and reptile survey report. It is recognised that neighbouring residents have raised concern that the development of the site would result in a loss of habitat. The Council's Biodiversity Officer has assessed the submitted documents and relevant landscape layout plan and is satisfied that, providing the mitigation and enhancement measures recommended in each statement are implemented, biodiversity would be conserved and enhanced.

(f) Highway Safety

10.31 Local Plan Policy INF3 supports development that assists in the delivery of sustainable transport, for example, through prioritising sustainable transport modes and considering the transport needs of all people.

10.32 Policy INF4 states that development will be permitted that provides safe and suitable access and has regard, where appropriate, to the Manual for Gloucester Streets.

10.33 Policy INF5 states that development will provide residential and non-residential vehicle parking where there is clear and compelling evidence that such provision is necessary to manage the local road network.

10.34 Section 9 of the NPPF promotes sustainable transport. Paragraph 111 states that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

10.35 The Parish Council and other nearby residents have raised concern that the proposal provides insufficient parking and that subsequent on-street parking would pose a highway safety risk to pedestrians from the existing Dukes Field development, which does not provide footways.

10.36 The proposal provides access points with sufficient visibility and off-street parking provision which exceeds the local requirements. The agent has also addressed comments previously raised by the Local Highway Authority (GCC Highways) and has now demonstrated that each parking area provides sufficient turning facilities to exit onto the highway in a forward gear. Furthermore, the proposal would facilitate the installation of a pavement along the west side of Oak Road, connecting the existing footway provision to the north and Dukes Field. A condition would be imposed to ensure the new footway would be constructed in accordance with the standards for adoption as a public highway. Local Plan Policy S4 identifies the need for footpaths/pedestrian crossing to improve safety and access throughout the village. As such, the provision of a footway is a noted public benefit. Furthermore, a financial contribution would be sought to extend the 30mph speed limit, moving the terminal point by approximately 60 metres southwards to a point beyond the junction with Duke's Field, further improving road and pedestrian safety for existing and future occupiers of the village.

10.37 While the residents' concerns are acknowledged, Officers consider that the proposal exceeds parking requirements and would provide benefits to pedestrian safety. Furthermore, the Highway Authority has undertaken a robust assessment of the planning application and concludes that there would not be an unacceptable impact on Highway Safety or a severe impact on congestion. The proposal would therefore accord with Local Plan Policy INF4, INF5 and section 9 of the NPPF.

(g) Drainage

10.38 Policy EN14 seeks to manage flood risk by avoiding areas at risk of flooding in accordance with a risk-based sequential approach; minimising flood risk and providing resilience; and including Sustainable Drainage Systems where appropriate. Chapter 10 of the NPPF addresses the need to take account of flood risk.

10.39 The development will add 1,710m² of hard area on an effectively greenfield site. However, runoff from the site will be disposed of using sustainable drainage measures, ensuring minimal runoff offsite. Surface water runoff from the development will discharge into the adjoining watercourse located to the south. Runoff will be restricted to 3 l/s in total (1 l/s from each unit), a reduction of 50% over the current 100yr greenfield runoff rate. The ground is underlain predominantly by clayey strata, with poor infiltration potential as confirmed by onsite soakage testing works.

10.40 Surface water runoff will be managed within the site for events up to the 1:100 year + 40% climate change event. A 10% urban creep factor will be allowed in the drainage/storage design. Runoff for design exceedance or drainage failure events will accumulate within the permeable paved parking and rear garden areas; the finished floor levels within the new blocks will be adequately raised to remain unaffected under such circumstances.

10.41 Surface water runoff will be appropriately treated within permeable paving (with pre-treatment devices, e.g. catchpits) before discharging to the watercourse. Property owners will be responsible for drainage components located within their curtilages.

10.42 The development site will discharge foul water into the public foul sewer located in Duke's Field via a private onsite pump station, subject to a connection agreement with Thames Water.

10.43 The Lead Local Flood Authority (LLFA) has assessed the submitted Drainage Strategy and considers that it is acceptable in terms of discharge rates to the watercourse south of the development. The LLFA has acknowledged the local concern raised regarding the ditch to which surface water is being discharged not being linked to drainage courses. The LLFA confirms that the ditch in question is where greenfield runoff from the site currently goes and the drainage strategy will ensure it continues to do so at the same rate achieved by attenuation and control of the discharge rates to greenfield equivalents. The LLFA continues to state that, 'The ditch ends at a point where the contents can soak away into the underlying superficial deposits of sand and gravel. This is not seen as a problem and with the controls in place the scale of flooding and requirements of the soakaway will remain the same as prior to development.'

10.44 Thames Water have also assessed the proposal and recognises the catchment area is subject to high infiltration flows during certain groundwater conditions. Thames Water consider that the scale of the proposed development would not materially affect the sewer network and therefore raise no objections. Furthermore, Thames Water would advise that with regard to foul water sewerage network infrastructure capacity, they would not have any objection to the above planning application.

10.45 The level of local concern regarding infrastructure capacity and flood risk from surface water and foul water is duly noted. The Local Planning Authority have consulted with the relevant specialists as laid out above and consider that their views are satisfactory. Consequently, the development is considered not cause an increase in surface water runoff or associated flood risk in the locality and will not adversely affect water quality of the receiving water environment.

(h) Other Matters

10.46 This application is liable for contribution through the Community Infrastructure Levy (CIL) and there will be a CIL charge payable. Section 143 of the Localism Act 2011 states that any financial sum that an authority has received, will, or could receive, in payment of CIL is a material 'local finance consideration' in planning decisions.

11. Conclusion:

11.1 The site comprises a portion of land allocated for housing within the Local Plan. The proposal therefore represents an appropriate use of land within an established development boundary. Overall, for the reasons outlined above, it is considered that the proposed scheme would not cause harm to the character or appearance of the surrounding area or the amenity of existing or future occupiers and would not be detrimental to highway safety. Furthermore, through the implementation of drainage schemes, biodiversity enhancement plans and landscaping plans to be agreed by condition, the proposal is considered not to increase flood risk, cause harm to the landscape or biodiversity value. The proposal also includes renewable energy solutions.

11.12 It is therefore recommended that the application is granted permission.

12. Proposed Conditions:

1 The development shall be started by 3 years from the date of this decision notice.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2 The development hereby approved shall be carried out in accordance with the following drawing number(s):

I00 Site Location Plan
I01 REV P3 Site Layout
I02 Rev A Boundary Treatments and Materials
I03 Site Layout Dimensioned
I10 Rev A Proposed Floor Plan Type J
I11 Rev B Proposed Elevations Type J
I20 Rev A Proposed Floor Plans Type L
I21 Rev A Proposed Elevations Type L
I30 Rev A Proposed Floor Plans Type D
I31 Rev A Proposed Elevations Type D
I40 Rev A Proposed Floor Plans Type F
I41 Rev A Proposed Elevations Type F
I50 Rev A Proposed Floor Plans Type F+
I51 Rev A Proposed Elevations Type F
I60 Proposed Floor Plans Aff Dwelling
I61 Proposed Floor Plans Aff Dwelling
I62 Rev A Proposed Elevations Aff Dwelling
I70 Single Garage
I71 Double Garage
I72 Boundary Treatments
External Finishes Schedule rev B
7640/300 Vehicle Swept Path Analysis
C261/P/35/ REV A Landscape Layout

Reason: For purposes of clarity and for the avoidance of doubt, in accordance with the National Planning Policy Framework.

3 No development shall take place within the application site until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation, including a timetable for the submission of the findings, which has been submitted by the applicant and approved in writing by the Local Planning Authority.

Reason: To ensure that items of archaeological interest are properly recorded. Such items would potentially be lost if development was commenced prior to the implementation of a programme of archaeological work. It is therefore important that such a programme is agreed prior to the commencement of development.

4 No development shall commence until details of a construction management plan or construction method statement shall be submitted to and approved in writing by the Local Planning Authority. The approved plan/statement shall be adhered to throughout the demolition/construction period. The plan/statement shall include but not be restricted to:

- Parking of vehicle of site operatives and visitors (including measures taken to ensure satisfactory access and movement for existing occupiers of neighbouring properties during construction);
- Routes for construction traffic;
- Any temporary access to the site;
- Locations for loading/unloading and storage of plant, waste and construction materials;
- Method of preventing mud and dust being carried onto the highway;
- Arrangements for turning vehicles;
- Arrangements to receive abnormal loads or unusually large vehicles; and
- Methods of communicating the Construction Management Plan to staff, visitors and neighbouring residents and businesses.

5 Prior to the first occupation of any dwelling forming part of the development hereby permitted a 1.8 metres wide footway shall have been constructed alongside Oak Road to adoptable standards substantially as shown on the submitted Site Layout drawing no 101 Revision P1 and in accordance with the design and technical details of a scheme that shall first have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure suitable facilities for pedestrians are provided and in the interest of highway safety.

6 Prior to the first occupation of any dwelling forming part of the development hereby permitted secure and sheltered cycle storage for each dwelling shall have been provided for use in accordance with the details of a scheme that shall first be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the provision and availability of adequate cycle parking.

7 Prior to the first occupation of any dwelling forming part of the development hereby permitted each dwelling shall be fitted with an electric vehicle charging point. The charging point shall comply with BS EN 62196 Mode 3 or 4 charging and BS EN 61851 [and Manual for Gloucestershire Streets]. The electric vehicle charging points shall be retained for the lifetime of the development unless they need to be replaced in which case the replacement charging point(s) shall be of the same specification or a higher specification in terms of charging performance.

Reason: To promote sustainable travel and healthy communities.

8 The car parking spaces hereby permitted shall be retained as such and shall not be used for any purpose other than the parking of private motor vehicles associated with the residential occupation of the property without the grant of further specific planning permission from the Local Planning Authority.

Reason: To retain car spaces for parking purposes and avoid unnecessary additional on-street parking.

9 No development shall take place until a full Tree and Hedgerow Protection Strategy has been submitted to and approved in writing by the Local Planning Authority.

The Protection Strategy (to be prepared by a suitably qualified arboriculturalist and in accordance with BS5837:2012 'Trees in relation to design, demolition and construction - recommendations') shall include where appropriate: -

- a) Arboricultural Implications Assessment
- b) Arboricultural method statement
- c) Tree Protection Plan
- d) A timetable of arboricultural site inspections (to be carried out by a suitably qualified Arboriculturalist and all findings reported in writing to the Local Planning Authority).

The approved strategy shall be implemented in full according to the timescales laid out in the strategy.

Reason: To safeguard the retained/protected tree/s in accordance with Cotswold District Local Plan Policy EN7. It is important that these details are agreed prior to the commencement of development as works undertaken during the course of construction could have an adverse impact on the well-being of existing trees.

10 The development shall not start before a comprehensive landscape scheme has been approved in writing by the Local Planning Authority. The scheme must incorporate the footway on the eastern boundary of the site into the scheme and show the location, size and condition of all existing trees and hedgerows on and adjoining the land and identify those to be retained, together with measures for their protection during construction work. It must show details of all planting areas, tree and plant species, numbers and planting sizes. The proposed means of enclosure and screening should also be included, together with details of any mounding, walls and fences and hard surface materials to be used throughout the proposed development.

Reason: To ensure the development is completed in a manner that is sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

11 The entire landscaping scheme as shown on drawing no. C261/P/35 shall be completed by the end of the first planting season (1st October to 31st March the following year) following the first occupation of the first building on the site.

Reason: To ensure that the landscaping is carried out and to enable the planting to begin to become established at the earliest stage practical and thereby achieving the objective of Cotswold District Local Plan Policy EN2.

12 Any trees or plants shown on the approved landscaping scheme to be planted or retained which die, are removed, are damaged or become diseased, or grassed areas which become eroded or damaged, within 5 years of the completion of the approved landscaping scheme, shall be replaced by the end of the next planting season. Replacement trees and plants shall be of the same size and species as those lost, unless the Local Planning Authority approves alternatives in writing.

Reason: To ensure that the planting becomes established and thereby achieves the objective of Cotswold District Local Plan Policy EN2.

13 The development shall be completed in accordance with the following documents and drawings as submitted with the planning application:

- i. Paragraphs 4.11, 4.13 of the Ecological Appraisal report dated October 2021 prepared by All Ecology Ltd. (Version 1.1 dated 26/10/21);
- ii. Paragraphs 6.4 of the Hedgerow Assessment report dated February 2021 prepared by All Ecology Ltd. (Version 1.1 dated 08/02/2021).;
- iii. Paragraph 6.5 of the Reptile Survey report dated October 2021 prepared by All Ecology Ltd. (Version 1.0 dated 24/10/2021);
- iv. Section 5 of the Great Crested Newt Method Statement dated November 2021 prepared by All Ecology Ltd. (Version 1.0 dated 12/11/21);
- v. Dormouse method statement presented in letter dated 12th November 2021 by All Ecology Ltd.; and
- vi. Hedgehog access gaps, hedgerow protection, planting, reinforcement planting and replacement planting (if southwestern boundary hedgerow needs to be removed), as shown on Landscape Layout drawing no. C261/P/35/ REV A.

All of the biodiversity-related mitigation and enhancement measures contained within the above reports and drawings shall be implemented in full according to the specified timescales and specifications, unless otherwise agreed in writing by the local planning authority, and shall thereafter be permanently retained and maintained.

Reason: To ensure that biodiversity (including protected and priority species) is protected in accordance with The Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife and Countryside Act 1981 as amended, Policy EN8 of the Cotswold District Local Plan 2011-2031, Circular 06/2005, paragraphs 174, 179 and 180 of the National Planning Policy Framework and in order for the Council to comply with Part 3 of the Natural Environment and Rural Communities Act 2006.

14 Prior to the first occupation of the development hereby permitted, details of all external lighting shall be submitted to and approved in writing by the local planning authority. The details shall show how and where external lighting will be installed (including the type of lighting) in accordance with the recommendations in paragraph 6.7 of the Bat Activity Survey report dated October 2021 prepared by All Ecology Ltd. (Version 1.0 dated 24/10/21), so that it can be clearly demonstrated that direct illumination and light spillage of the southern boundary hedgerow will be avoided.

All external lighting shall be installed in accordance with the specifications and locations set out in the details, and these shall be retained thereafter.

Under no circumstances should any other external lighting be installed without prior consent from the local planning authority.

Reason: To protect foraging/commuting bats in accordance with the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife and Countryside Act 1981 (as amended), policies EN1, EN2, EN7, EN8 and EN9 of the Cotswold District Local Plan 2011- 2031, paragraphs 174, 179 and 180 of the National Planning Policy Framework, Circular 06/2005 and in order for the Council to comply with Part 3 of the Natural Environment and Rural Communities Act 2006.

15 Prior to the erection of any external walls of the dwellings hereby permitted, details of the provision of integrated bat boxes and bird boxes shall be submitted to the local planning authority for approval.

The details shall be based on the recommendations in paragraphs 4.9 and 4.14 of the Ecological Appraisal report dated October 2021 prepared by All Ecology Ltd. (Version 1.1 dated 26/10/21) and para 6.8 of the Bat Activity Survey report dated October 2021 prepared by All Ecology Ltd. (Version 1.0 dated 24/10/21) and shall include technical drawings showing the types of features, their locations within the site, their positions on the elevations of the buildings and a timetable for their provision.

The development shall be completed fully in accordance with the approved details and the approved features shall be retained in accordance with the approved details thereafter.

Reason: To provide biodiversity enhancement in accordance with policies EN1, EN2, EN7, EN8 and EN9 of the Cotswold District Local Plan 2011-2031, paragraphs 174, 179 and 180 of the National Planning Policy Framework and Section 40 of the Natural Environment and Rural Communities Act 2006.

16 Prior to the construction of any external wall of the development hereby approved, samples of the proposed walling and roofing materials shall be approved in writing by the Local Planning Authority and only the approved materials shall be used.

Reason: To ensure that, in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality that will be appropriate to the site and its surroundings.

17 Prior to the construction of any external wall of the development hereby approved, a sample panel of walling of at least one metre square in size showing the proposed stone colour, coursing, bonding, treatment of corners, method of pointing and mix and colour of mortar shall be erected on the site and subsequently approved in writing by the Local Planning Authority and the walls shall be constructed only in the same way as the approved panel. The panel shall be retained on site until the completion of the development.

Reason: To ensure that in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality and in a manner appropriate to the site and its surroundings. Retention of the sample panel on site during the work will help to ensure consistency.

18 All door and window frames shall be recessed a minimum of 75mm into the external walls of the building and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

19 The new rooflights shall be of a design which, when installed, shall not project forward of the roof slope in which the rooflights are located and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

20 Notwithstanding the provisions of Schedule 2 Part 1 Class A and Class E of the Town and Country Planning (General Permitted Development) (England) Order 2015, or any other statutory instrument amending or replacing it, no extensions or outbuildings shall be erected or constructed within the application site or new windows, doors other openings inserted in the application buildings other than those permitted by this Decision Notice.

Reason: In order to protect the privacy and amenity of neighbouring residents and to preserve the character and appearance of the development in accordance with Cotswold District Local Plan Policies EN2.

21 Prior to the first occupation of the dwellings hereby permitted, full details of the management and recycling of waste generated during occupation must be submitted to and approved in writing by the local planning authority. This must include details of the appropriate and adequate space and infrastructure to allow for the separate storage of recyclable waste materials. The management of waste during occupation must be aligned with the principles of the waste hierarchy and not prejudice the delivery of local waste management targets. All details shall be fully implemented as approved and maintained as such thereafter.

Reason: To ensure the effective implementation of waste minimisation in accordance with adopted Gloucestershire Waste Core Strategy: Core Policy WCS2 - Waste Reduction; and paragraph 8 of the National Planning Policy for Waste (NPPW).

22 The development hereby permitted shall be carried out strictly in accordance with the Drainage Strategy written by Cole Easdon Consultants Limited dated February 2021 or an alternative scheme which will have first been submitted and approved in writing. All details shall be fully implemented as approved and maintained as such thereafter.

Reason: To ensure the proper provision for surface water drainage and/ or to ensure flooding is not exacerbated in the locality in accordance with Local Plan Policy EN14.

23 No building on the development hereby permitted with a water butt shown on the Proposed Site Block Plan drawing no. 2813-PL-103 REV C shall be occupied until a functioning water butt (minimum capacity 200 litres) is provided for each dwelling. The water butt shall thereafter be permanently maintained in working order.

Reason: To enhance water conservation and as a precautionary measure to reduce the possible increased risks of flooding associated with water runoff in accordance with Cotswold District Local Plan Policy EN14.

24 The development hereby permitted shall be carried out strictly in accordance with the Site Waste Management Plan written by Cotswold Homes dated 2 March 2021. All details shall be fully implemented as approved and maintained as such thereafter.

Reason: To ensure the effective implementation of waste minimisation and resource efficiency in accordance with adopted Gloucestershire Waste Core Strategy: Core Policy WCS2 - Waste Reduction; adopted Minerals Local Plan for Gloucestershire Policy SR01 and paragraph 8 of the National Planning Policy for Waste (NPPW).

25 Prior to the first occupation of any dwelling forming part of the development hereby permitted photovoltaic panels shall be installed and in full working order in accordance with a scheme that shall first be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the potential impacts of climate change are addressed in a manner sensitive to the character of the area, in accordance with Local Plan Policy EN2.

INFORMATIVES :-

1 Please note that the proposed development set out in this application is liable for a charge under the Community Infrastructure Levy (CIL) Regulations 2010 (as amended). A CIL Liability Notice will be sent to the applicant, and any other person who has an interest in the land, under separate cover. The Liability Notice will contain details of the chargeable amount and how to claim exemption or relief, if appropriate. There are further details on this process on the Council's website at www.cotswold.gov.uk/CIL

2 The development hereby permitted will require the carrying out of work within the adopted highway. The applicant/developer should be advised that before undertaking work within the adopted highway, a highway agreement under Section 278 of the Highways Act 1980 must be entered into with the County Council, which will specify the works and the terms and conditions under which they are to be carried out.

Contact should be made with the Highway Authority's Legal Agreements Development Management Team at highwaylegalagreements@gloucestershire.gov.uk allowing sufficient time for the preparation and signing of the Agreement. Fees will be required to be paid to cover the Council's costs in undertaking the following actions:

- i. Drafting the Agreement
- ii. A Monitoring Fee
- iii. Approving the highway details
- iv. Inspecting the highway works

Planning permission is not permission to work in the highway. A Highway Agreement under Section 278 of the Highways Act 1980 must be completed, the bond secured and the Highway Authority's technical approval and inspection fees paid before any drawings will be considered and approved.

You are advised that a Traffic Regulation Order (TRO) is required. You must submit a plan to scale of an indicative scheme for a TRO, along with timescales for commencement and completion of the development. Please be aware that the statutory TRO process is not straightforward; involving advertisement and consultation of the proposal(s).

You should expect a minimum of six months to elapse between the Highway Authority's TRO Team confirming that it has all the information necessary to enable it to proceed and the TRO being advertised. You will not be permitted to implement the TRO measures until the TRO has been sealed, and we cannot always guarantee the outcome of the process.

We cannot begin the TRO process until the appropriate fee has been received. To arrange for a TRO to be processed contact the Highway Authority's Legal Agreements Development Management Team at highwaylegalagreements@gloucestershire.gov.uk

The cost of implementing any lining, signing or resurfacing required by the TRO is separate to the TRO fees, which solely cover the administration required to prepare, consult, amend and seal the TRO.

3 The development hereby permitted includes the construction of new footway that is to become public highway. The footway must be constructed to the Highway Authority's standards and terms and the applicant/developer is required to enter into a highway agreement under Section 38 of the Highways Act 1980.

Contact should be made with the Highway Authority's Legal Agreements Development Management Team at highwaylegalagreements@gloucestershire.gov.uk. Fees will be required to be paid to cover the Council's costs in undertaking the following actions:

- i. Drafting the Agreement
- ii. Set up costs
- iii. Approving the highway details
- iv. Inspecting the highway works

Discussions with statutory undertakers should be entered into as soon as possible to co-ordinate the laying of services under any new highways to be adopted by the Highway Authority.

The Highway Authority's technical approval inspection fees must be paid before any drawings will be considered and approved. Once technical approval has been granted a Highway Agreement under Section 38 of the Highways Act 1980 must be completed and the bond secured.

4 A legal agreement (s.106) would be required to secure a financial contribution towards the extension of the existing 30mph speed limit along Oak Road.

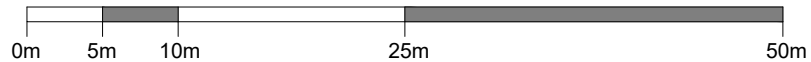
A legal agreement (s.38) would be required to provide for the adoption of a new footway along Oak Road as public highway maintainable at public expense.

5 Please note that planning permission does not override the statutory protection afforded to species protected under the terms of the Wildlife and Countryside Act 1981 (as amended) and the Conservation of Habitats and Species Regulations 2017 (as amended), or any other relevant legislation such as the Wild Mammals Act 1996 (including hedgehogs) and the Protection of Badgers Act 1992. For information on hedgehog gaps/holes in fences and walls, please visit <https://www.hedgehogstreet.org/help-hedgehogs/link-your-garden/>

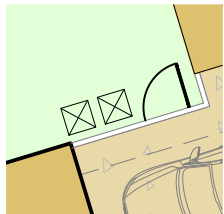
With regard to the condition for nest boxes, it is recommended that at least 3 no. swift bricks are integrated into a single wall/elevation due to the colonial breeding behaviour of this species and the suitability of the bricks for priority species - house sparrows and starlings. A combination of box types including house sparrow terraces and starling boxes would also be acceptable. Boxes should be located sensitively, away from doors and windows to avoid accumulations of droppings, close to vegetation and not directly illuminated. The applicant and their architect should note the advice of Swift Conservation with regard to the installation of the swift bricks available at

<https://www.swiftconservation.org/Nestboxes&Attraction.htm#Built%20in>

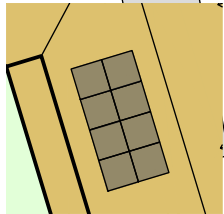
Anyone undertaking this development should be aware that great crested newts and their resting places are protected at all times by The Conservation of Habitats and Species Regulations 2017 (as amended) and the Wildlife and Countryside Act 1981 (as amended). Planning permission for development does not provide a defence against prosecution under this legislation or substitute the need to obtain a protected species licence if an offence is likely. If a great crested newt is discovered during site preparation, enabling or construction phases, then all works must stop until the advice of a professional/suitably qualified ecologist and Natural England is obtained, including the need for a licence.



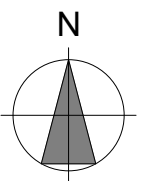
- Existing Trees
- New Tree Planting
- Good Quality tree & RPA



Indicative bin locations



Indicative solar panel locations 1m x 1.6m



Footway to Oak Road subject to Highway approval

P3 - SOLAR PANELS INDICATED. 13.10.21
P2 - BIN LOCATIONS INDICATED. FOOTPATH INDICATED TO OAK ROAD.
P1 - INTERNAL ROADS & KERBLINES ADJUSTED TO SUIT TRACKING. 24.09.21

Revision			
Client:		COTSWOLD HOMES	
Site Address:		LAND OFF DUKES FIELD, DOWN AMPNEY	
Drawing Title:		SITE LAYOUT	
Date:		FEBRUARY 2021	Drawn by: OT
Scales:		1:500 @A3	
Project Number:		792	
Drawing Number:		101	
Revision:		P3	

PLANNING

COTSWOLD HOMES

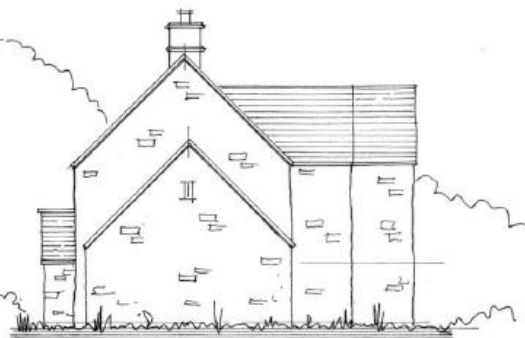
Chartered Institute of Architectural Technologists

Trower Davies
Architectural Consultants

8 Manor Park
Mackenzie Way
Cheltenham
Gloucestershire
GL51 9TX
Tel: 01242 224247



East Facing Elevation



North Facing Elevation



West Facing Elevation



South Facing Elevation

PLOT 1-4

PLANNING

Revision		
Client:	COTSWOLD HOMES	Scales: 1:150 @A3
Site Address:	LAND OFF DUKES FIELD, DOWN AMPNEY	Project Number: 792
Drawing Title:	PROPOSED ELEVATIONS - AFF DWELLINGS	Drawing Number: 162
Date:	FEBRUARY 2021	Drawn by: OT
		Revision: A



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Trower Davies
Architectural Consultants

8 Manor Park
Mockerside Way
Cheltenham
Gloucestershire
GL51 9TX
Tel: 01242 224247



GROUND FLOOR PLAN



FIRST FLOOR PLAN



PLOT 5 - SOUTH FACING ELEVATION
PLOT 9 - EAST FACING ELEVATION



PLOT 5 - NORTH FACING ELEVATION
PLOT 9 - WEST FACING ELEVATION



PLOT 5 - WEST FACING ELEVATION
PLOT 9 - SOUTH FACING ELEVATION



PLOT 5 - EAST FACING ELEVATION
PLOT 9 - NORTH FACING ELEVATION

PLOT 5 & 9

PLANNING

Revision		
Client:	COTSWOLD HOMES	Scales: 1:100 (B43)
Site Address:	LAND OFF DUKES FIELD, DOWN AMPNEY	Project Number: 782
Drawing Title:	PROPOSED ELEVATIONS - TYPE D-	Drawing Number: 101
Date:	FEBRUARY 2021	Drawn by: OT
		Revision: A



 <p>COTSWOLD HOMES</p>	 <p>CIAT Chartered Institute of Architectural Technicians</p>	 <p>Trower Davies Architectural Consultants</p>	<p>8 Manor Park Mackenzie Way Cheltenham Gloucestershire GL51 9TX Tel: 01242 224247</p>
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GROUND FLOOR PLAN
1744SQFT



FIRST FLOOR PLAN



South Facing Elevation



West Facing Elevation



North Facing Elevation



East Facing Elevation

Revision:		
Client:	COTSWOLD HOMES	Scales: 1:100 @A3
Site Address:	LAND OFF DUKES FIELD, DOWN AMPNEY	Project Number: 792
Drawing Title:	PROPOSED ELEVATIONS - TYPE L	Drawing Number: 121
Date:	FEBRUARY 2021 Drawn by: OT	Revision: A



COTSWOLD
HOMES



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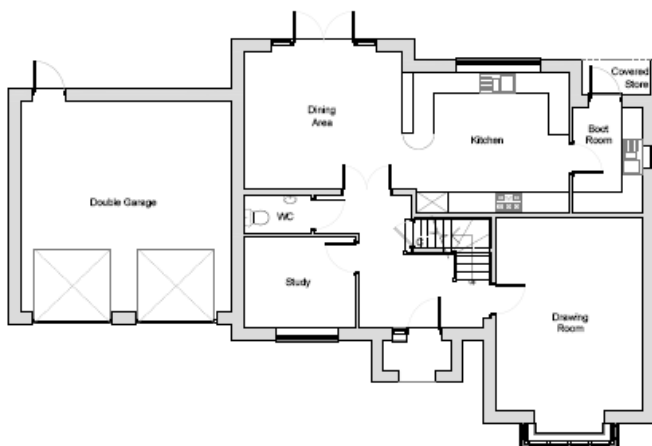
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Architectural Consultants

8 Manor Park
Macclesfield Way
Chesham
Cheshire
GL51 1TX
Tel: 01242 224247

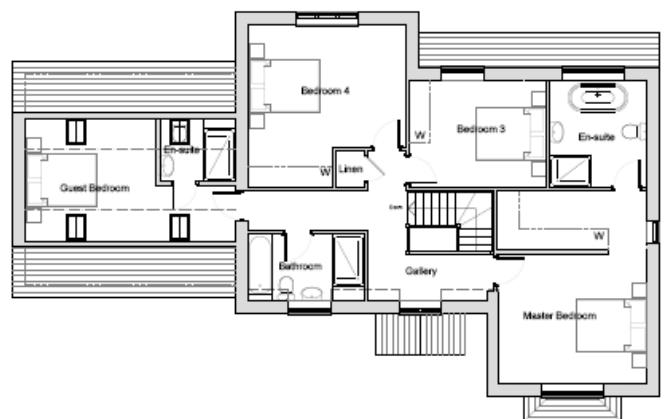


PLOT 6

PLANNING



GROUND FLOOR PLAN
2206SQFT



FIRST FLOOR PLAN



South Facing Elevation



East Facing Elevation



North Facing Elevation



West Facing Elevation

PLOT 7

PLANNING

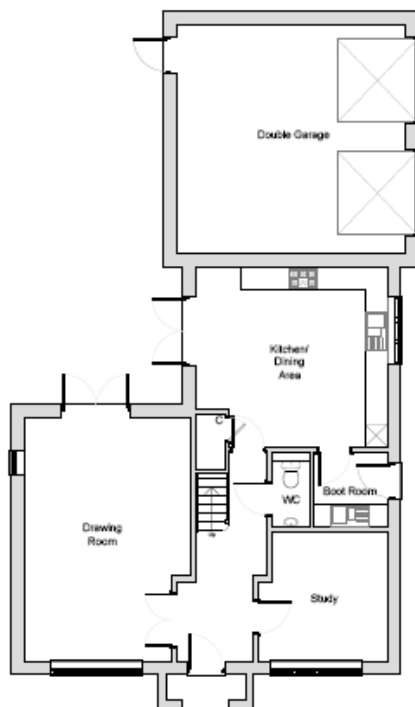
Revision		
Client:	COTTWOLD HOMES	Scale:
Site Address:	LAND OFF DURES FIELD, DOWNHAMPTON	Project Number:
Drawing Title:	PROPOSED ELEVATIONS - TYPE 4	Drawing Number:
Date:	FEBRUARY 2021	Drawn by:
	OT	Revisions:
		A

COTTWOLD HOMES

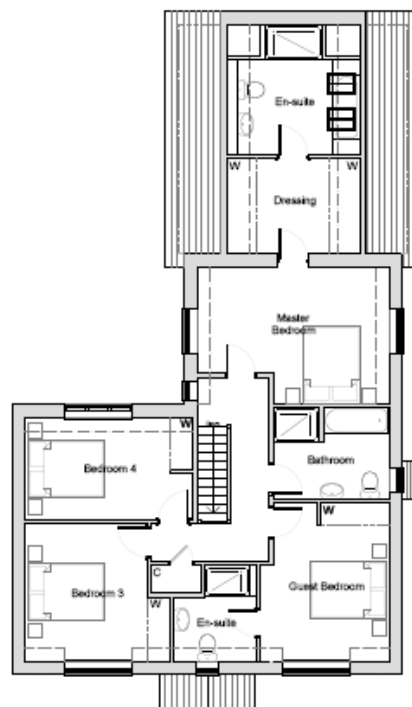
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Trower Davies
Architectural Consultants

8 Manor Park
Mackenzie Way
Cheltenham
Gloucestershire
GL51 9TX
Tel: 01242 224247



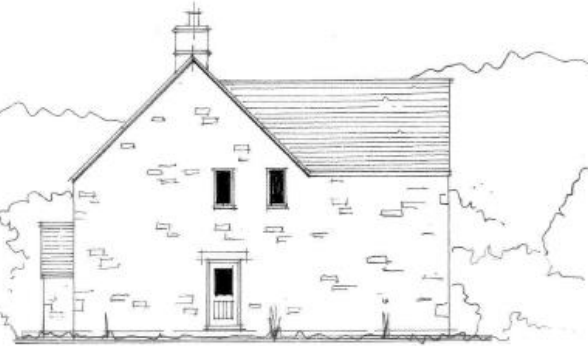
GROUND FLOOR PLAN
1973SQFT



FIRST FLOOR PLAN



South Facing Elevation



East Facing Elevation



North Facing Elevation



West Facing Elevation

PLOT 8

PLANNING

Revision		
Client:	COTSWOLD HOMES	Scale: 1:100 @A3
Site Address:	LAND OFF DUKES FIELD, DOWN AMPNEY	Project Number: 792
Drawing Title:	PROPOSED ELEVATIONS - TYPE F	Drawing Number: 141
Date:	FEBRUARY 2021	Drawn by: OT
		Revision: - A

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Trower Davies
Architectural Consultants

8 Manor Park
Mackenzie Way
Cheltenham
Gloucestershire
GL51 9TA
Tel: 01242 224247



GROUND FLOOR PLAN
1733SQFT



FIRST FLOOR PLAN



East Facing Elevation

South Facing Elevation



West Facing Elevation

North Facing Elevation

PLOT 10

PLANNING

Revision	A - Elevation heading corrected - 26.09.2021		
Client:	COTSWOLD HOMES	Scale:	1:100 @ A3
Site Address:	LAND OFF DRYES FIELD DOWN WIMPEY	Project Number:	792
Drawing Title:	PROPOSED ELEVATIONS - TYPE J	Drawing Number:	111
Date:	FEBRUARY 2021	Drawn by:	OT
		Revision:	B

COTSWOLD HOMES

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Trower Davies
Architectural Consultants

8 Manor Park
Mackenzie Way
Cheltenham
Gloucestershire
GL51 9TX
Tel: 01242 224247



GROUND FLOOR PLAN
2245SQFT



FIRST FLOOR PLAN

EXTERNAL FINISHES

3rd December 2021

SITE: Land at Dukes Field Down Ampney Gloucestershire.

TD Project No. 792

PLOT No.	TYPE / CODE	BEDS	HAND	PRIVATE	AFFORDABLE	WALLS BELOW DPC	MAIN WALLS	ARCHITECTURAL DRESSINGS			PORCH DETAIL	MAIN ROOF	RIDGE	PORCH ROOF	WINDOWS	CHIMNEYS	GARAGE ROOF
								HEAD TYPE	LABLE/SURROUND	CILL							
1	A1B	1	AS	N/A	YES		Natural Stone			C	LG	Natural Slate	Slate		WCW		
2	A2	2	AS	N/A	YES		Natural Stone	H		C	LG	Natural Slate	Slate	NS	WCW	√ (1)	
3	A1F	1	AS	N/A	YES		Natural Stone	H		C	LG	Natural Slate	Slate	NS	WCW	√ (1)	
4	A1F	1	AS	N/A	YES		Natural Stone	H		C	LG	Natural Slate	Slate	NS	WCW		
5	D+	4	AS	YES	N/A		Natural Stone	H		C	LP	Natural Slate	Slate	NS	WCW	√ (1)	PT
6	L	4	AS	YES	N/A		Natural Stone	H	S(F)	C	LP	Siga Heritage	Siga	SH	WCW	√ (1)	SH
7	F+	4	AS	YES	N/A		Natural Stone	H	L(F+S)	C	ST	Siga Heritage	Siga	SH	WCW	√ (1)	SH
8	F	4	AS	YES	N/A		Natural Stone	H	L(F)	C	ST	Natural Slate	Slate	NS	WCW	√ (1)	PT
9	D+	4	AS	YES	N/A		Natural Stone	H		C	LP	Siga Heritage	Siga	SH	WCW	√ (1)	SH
10	J	4	AS	YES	N/A		Natural Stone	H	S(F+S)	C	LP	Siga Heritage	Siga	NS	WCW	√ (1)	SH

MAIN WALLS

NS - Natural Stonework

Natural Cotswold Stone - Cotswold Cream in colour laid coursed

Mortar natural colour to suit stone colour

KEY
(F) - Front Elevation
(S) - Side Elevation
(R) - Rear Elevation
(1) - One Number
(2) - Two Number

ARCHITECTURAL DRESSINGS

HEAD TYPE Reconstituted Stone Head - Grecon, Old Bath Shade (H)
LABLE MOULDS Reconstituted Stone - Grecon, Old Bath Shade (L)
CILL Reconstituted Stone Cill - Grecon, Old Bath Shade (C)
WINDOW SURROUND Reconstituted Stone surround - Grecon, Old Bath Shade (S)

This schedule is to be read in conjunction with the Planning Drawing elevations for material locations

MAIN ROOF

Cotswold Recon Stone Tiles - Siga - Heritage (SH)
Natural Slate - SSQ - Del-Prado (NS)
Clay Plain Tile (PT)

RIDGE TILES Siga Heritage Ridge Tile (Dry Ridge) / Marley Eternit Concrete 90 Degree Angle Ridge Tile - Grey (Dry Ridge)
WINDOWS **WCW** - Timber Flush Casement Windows with Cottage Bar - Colour Buttermilk - RAL 1015
PORCH TYPE Stone with tiled roof (ST) Lean to with post support (LP) Lean to with gallows bracket support (LG)
PORCH CANOPIES Traditional Tiled - Pitched Roof Canopy - Interlocking Siga Heritage Tiles (SH) /Natural Slate (NS)
RAINWATER GOODS Half Round Gutters & Circular Downpipes - Colour Black, With Rise and Fall Brackets

Refer to boundary treatment plan 792-102 for detailed locations of boundary and plot enclosures consisting of :-

boundary walls 900mm and 1800mm high in natural stone with mortar capping or similar
boundary fences enclosures consiting 900mm high post and rail (paddock) fencing and 1800mm close board fencing

Rev A 3rd August 2021 -
roof tiles amended and extra window surrounds added
Rev B 3rd December 2021 -
Ridge tiles revised from Marley Eternit to Slate.